

February 15, 2016

Our File No.: 061300229

**RE: Section 80 Application for Crown Land Road Access to Subdivision of Lot 188  
Management Plan**

The driveway to access the home on Lot 188 of Plan 988, DL 4596 KD has been in use for the last 43 years. This application is presented to improve the driveway access to a Section 80 road standard for the purposes of subdividing Lot 188 per the PLNA released by the Ministry of Transportation and Infrastructure (MoTI). No creeks cross the subject area outlined in the attached road improvement preliminary design drawing set. Cattle grazing and related leases have not been in place on the subject property for several years.

Sheet 061300229 – CROWN -02 contains a typical road cross section for the subject crown land tenure application. The proposed right-of-way width varies and is dependent on the width defined by MoTI.

The crown land in the subject application is legally described as Lot 162, Plan 988, DL 376, Kootenay District.

**Construction Schedule:**

The owner of Lot 188 plans to begin construction as soon as possible in the spring of 2016 (weather dependent). It is expected that construction of the proposed road will take approximately 2 months, with construction completion by June 30, 2016. Tree clearing is expected to occur prior to bird nesting in the area.

The proposed public road will be designed and constructed to meet good engineering practices, as approved by the Ministry of Transportation and Infrastructure, assuming the land is granted for such intended use under a License of Occupation. It is expected that the proposed road will be used permanently for residential land use access. The volume of traffic is expected to be very low as generally accepted for a rural road classification. The access road (crown tenure) is expected to be in use for an indefinite period of time with no plan for deactivation.

**Construction:**

The proposed road will be approximately 385 metres long and the right-of-way width is currently illustrated to vary between 20 and 23 metres plus in width. The ground disturbance will be restricted to the limits of construction as established by the vertical design.

Please refer to the attached detailed road design and illustrations for information about the proposed road alignment, materials, slopes, drainage, cuts and fills, ditching ...etc. Note that the proposed Section 80 road will follow the existing driveway access for the most part, with the exception of the entrance onto Bear Mountain Road, wherein a suitable approach angle is proposed.

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**Land and Atmospheric Impacts:**

Currently, an active (for the last 43 years) driveway connects Lot 188 to Bear Mountain Road. A forest fire occurred in the subject area in 2009, so many of the trees in the area have been charred.

Tree clearing and grubbing will be required for the construction of the proposed road. All applicable permits will be obtained to complete this task assuming approval of the crown land tenure.

Any slash piles will be burned under safe conditions, when the BC forest service risk of wild fire is low and in accordance with the venting index.

The necessary clearing and road construction process will include silt fencing to mitigate runoff and disturbance to surrounding soils. There are no plans for future deactivation of the proposed road as it is intended for use indefinitely.

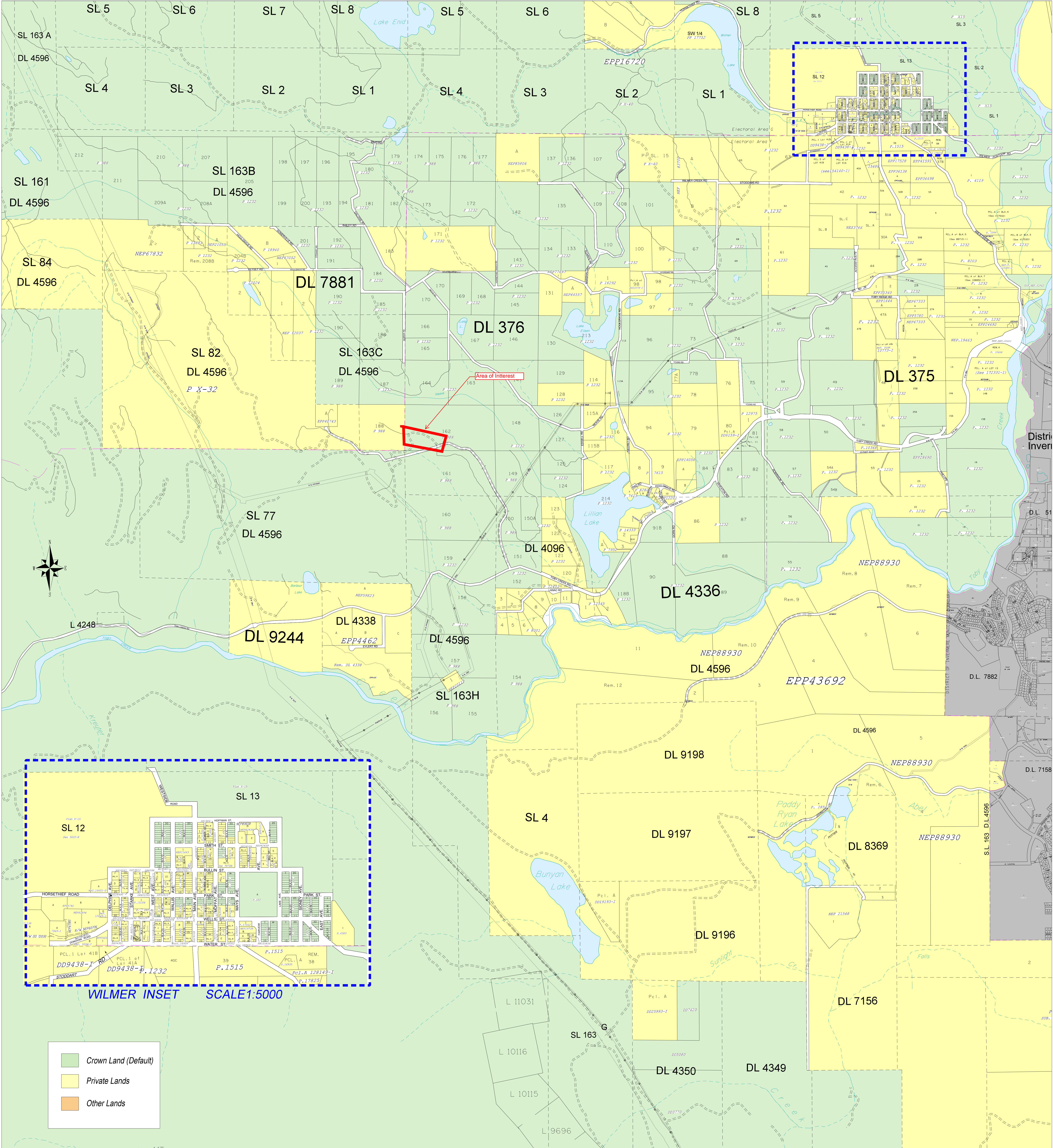
The road design includes a drainage plan for storm water runoff and snow melt. Best Management Practices for storm water handling will be implemented for approval by the Ministry of Transportation and Infrastructure prior to construction commencement.

Dust will be generated by construction activity. The dust will be controlled by applying water from a construction water truck to the surface of the disturbed areas. The water application rate will be monitored visually 7 days a week. The silt fencing will contain any sediment runoff generated by the dust control watering. An erosion and sediment control plan will also be designed and implemented.

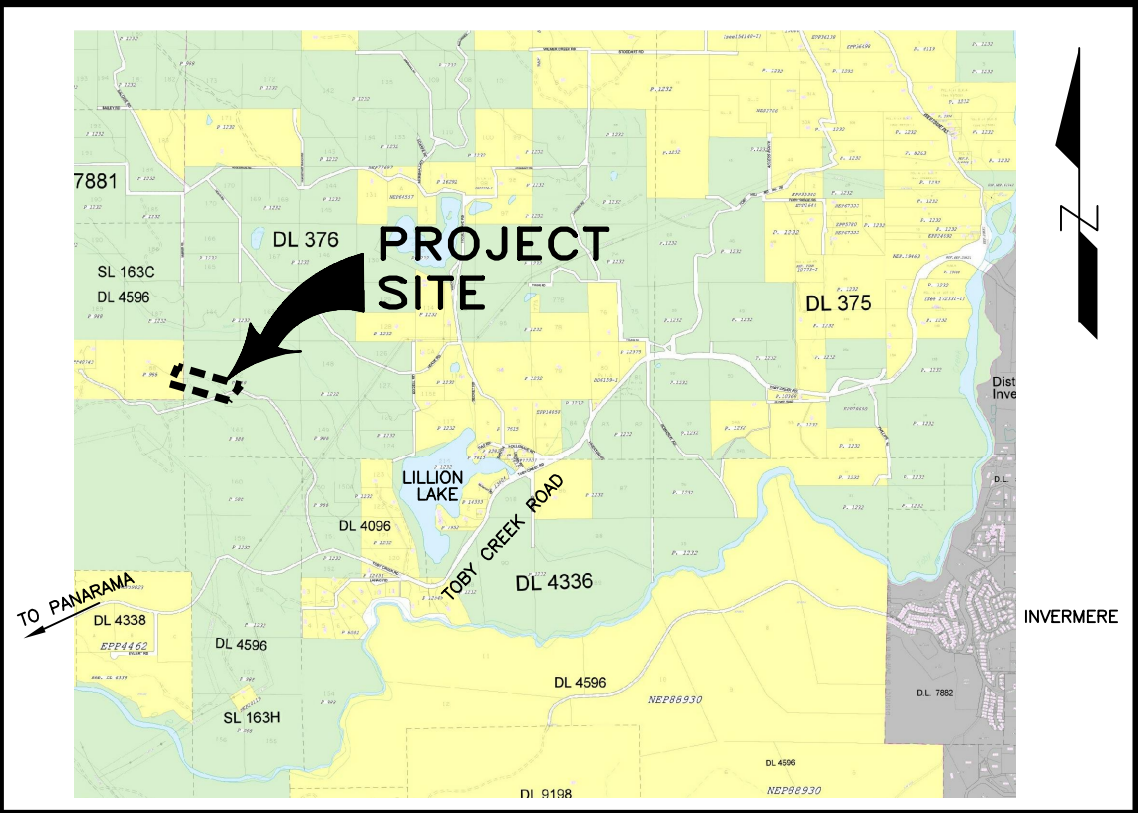
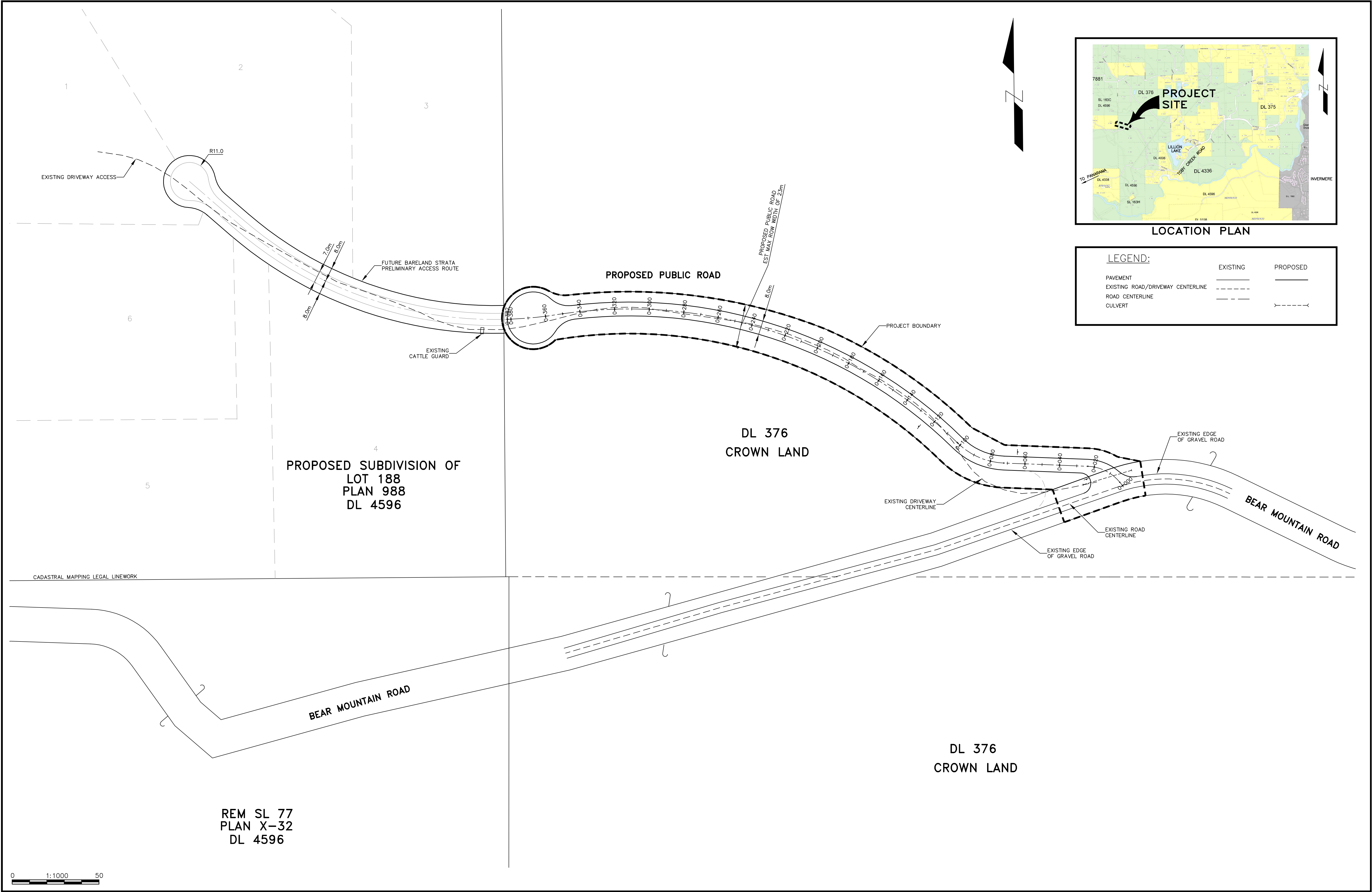
**Aquatic Impacts and Fish and Wildlife Habitat:**

No creeks, swamps or riparian areas exist within the proposed construction limits.









LOCATION PLAN

LEGEND:	
PAVEMENT	EXISTING PROPOSED
EXISTING ROAD/DRIVEWAY CENTERLINE	---
ROAD CENTERLINE	---
CULVERT	---


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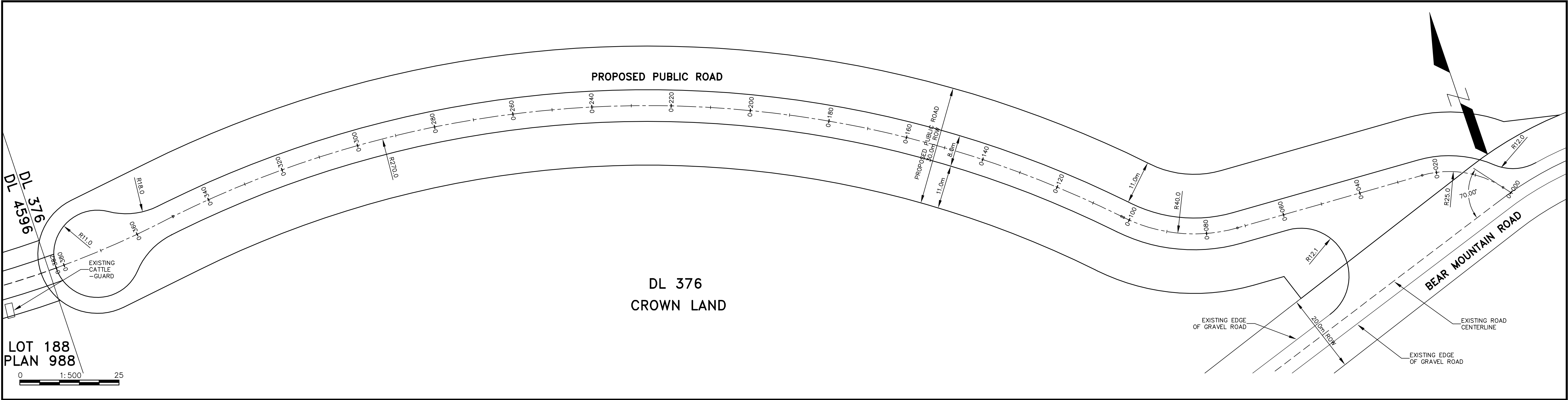
1	PRELIMINARY DESIGN - ISSUED TO MOTI	JAN '16	JEH	LB	
No.	DESCRIPTION	DATE	ENG.	BY	

PREPARED UNDER THE SUPERVISION OF
JEAN E. HORTON, P.ENG.

SCALE	DESIGNED BY	DRAWN BY
Horiz. 1:1000 Vert. N/A	JEH	LB
DATE	CHECKED BY	PROJECT NUMBER
JANUARY 2016	--	061300229

BARRY BROWN-JOHN NEAR INVERMERE, BC
DL 376 CROWN ROAD ACCESS
OVERALL SITE LOCATION PLAN-BEAR MOUNTAIN ROAD

 <b>WSP</b> Engineering · Planning · Geomatics 303 535 VICTORIA AVENUE NORTH, CRANBROOK, BC V1C 6S3 Telephone: (250)489-8025 Fax: (250)489-8053
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SHEET 061300229 - CROWN - 01



1	ISSUED FOR DISCUSSION	DEC '15	JEH	LB
No.	DESCRIPTION	DATE	ENG.	BY

PREPARED UNDER THE SUPERVISION OF
JEAN E. HORTON, P.ENG.

SCALE	DESIGNED BY	DRAWN BY
Horiz. 1:500 Vert. 1:100	JEH	LB
DATE	CHECKED BY	PROJECT NUMBER
NOVEMBER 2015	--	061300229

BARRY BROWN-JOHN  
NEAR INVERMERE, BC  
LOT 188, DL 4596, KOOTENAY DISTRICT, PLAN 988  
PROPOSED SECTION 80 ACCESS TO LOT 188

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SHEET 061300229 - 02